

HISTORIC AND DESIGN REVIEW COMMISSION

September 15, 2021

HDRC CASE NO: 2021-441
ADDRESS: 1003 NOLAN ST
LEGAL DESCRIPTION: NCB 1660 BLK H LOT S 152 FT OF 9
ZONING: R-6, H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Grace Villa /PATRICK GRACE KEEGAN
OWNER: Grace Villa /PATRICK GRACE KEEGAN
TYPE OF WORK: Installation of a driveway and parking pad in side and rear yard
APPLICATION RECEIVED: August 26, 2021
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Relocate the existing driveway from the front of the house to the rear of the house to feature a driveway width of twenty (20) feet.
2. Install a concrete parking pad in the rear yard to feature approximately 400 square feet.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

3. Landscape Design

B. ROCKS OR HARDSCAPE

- i. Impervious surfaces*—Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
- ii. Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
- iii. Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

- i. Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
- ii. Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
- iii. Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

- i. Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site.

Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.

ii. Curb cuts and ramps—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

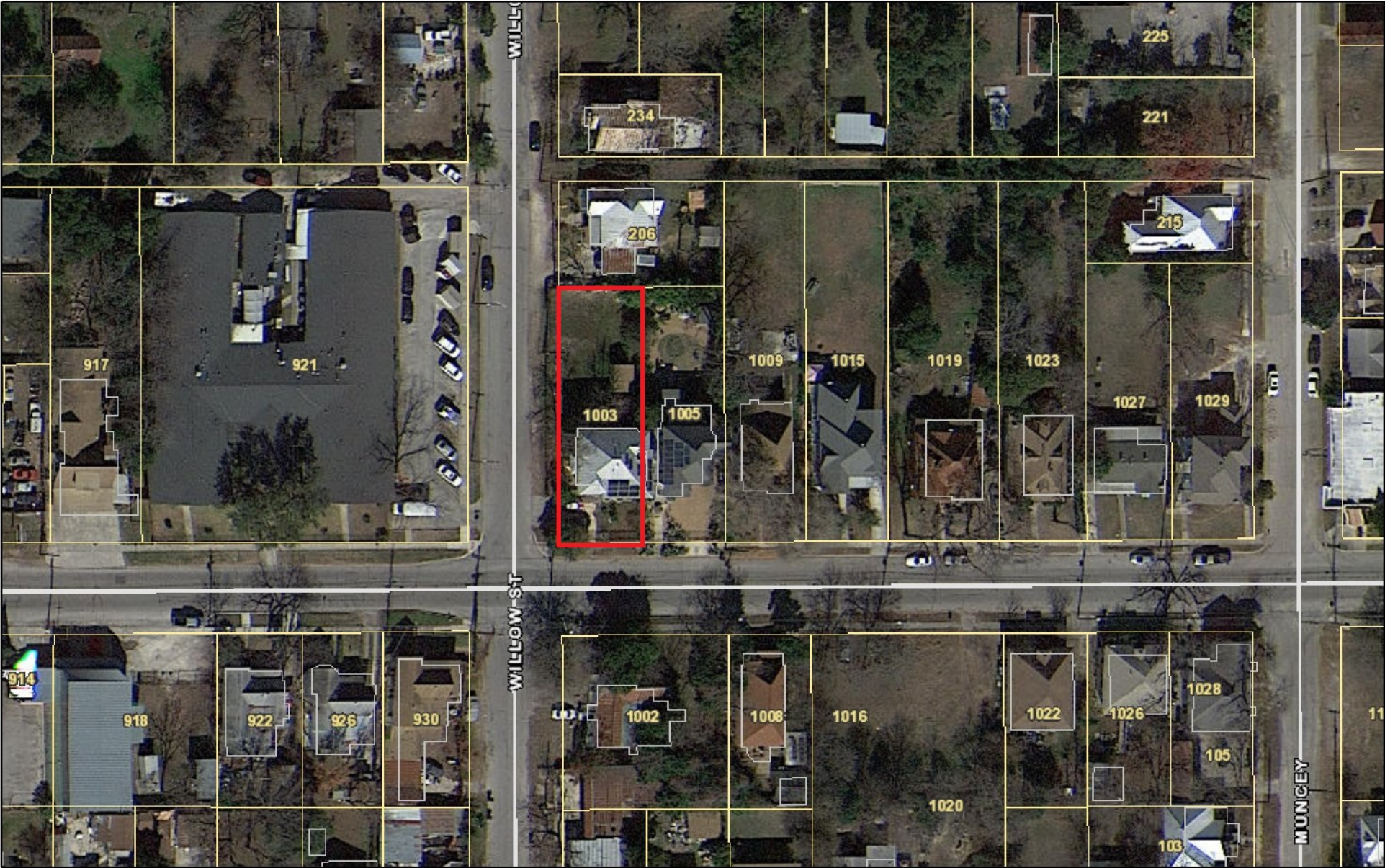
FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to relocate the existing driveway from the front of the house to the rear of the house. The proposed driveway will feature twenty (20) feet in width and will also include a rear yard parking pad.
- b. EXISTING CONDITIONS – The property at 1003 Nolan site at the corner of Nolan and Willow Streets. The property currently features a curb cut and driveway adjacent to the intersection of Nolan and Willow, resulting in a front yard parking condition.
- c. DRIVEWAY AND CURB CUT – The applicant has proposed a driveway and curb cut to be located off Willow Street to provide vehicular access into the rear of the lot. The proposed driveway and curb cut widths are twenty (20) feet with the driveway featuring permeable stone pavers. The curb cut currently exists at this width. Staff finds the rear yard driveway and materials to be appropriate.
- d. PARKING PAD – The applicant has proposed a rear yard parking pad to feature approximately 400 square feet of concrete. Per the Guidelines for Site Elements 3.B.i., large pavers, asphalt or other impervious surfaces should not be introduced where they are not historically located. Staff finds the proposed rear parking pad to be inconsistent with the Guidelines.

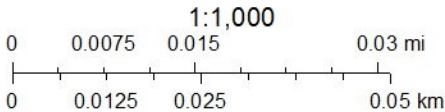
RECOMMENDATION:

1. Staff recommends approval of item #1, the relocation of the existing driveway. An impervious material such as gravel or decomposed granite is also appropriate.
2. Staff recommends approval of item #2, the installation of a rear yard parking pad with the following stipulations:
 - i. That the proposed parking pad be reduced in size, as noted in finding d.
 - ii. That the proposed parking pad feature pervious paving materials, such as gravel or decomposed granite.

City of San Antonio One Stop



September 10, 2021



Edward Hall (OHP)

From: Michael & Keegan Villa
Sent: Friday, September 10, 2021 12:36 PM
To: Edward Hall (OHP)
Subject: Re: [EXTERNAL] Re: Historic and Design Review Commission Application for September 15, 2021
Attachments: image1.jpeg; image0.jpeg

Edward,

Thanks so much for your help and guidance. We would like to proceed and present to the commission with our proposal as is. Given the unique nature of our corner lot, combined with recent work completed by the City for sidewalk infrastructure, we believe the original plan is best suited to our Lot and our family's needs while maintaining the same amount of concrete currently present at our property.

Could you help by incorporating the below facts & attached pictures into our request? Are you able to voice your support for the request, given these facts & attached pictures?

1. Existing parking pad, with in/egress from Willow St at front of property will be demolished and replaced with grass (see pictures of existing pad; current size of front parking pad is 20' wide by 26' deep). City of San Antonio has curbed up this existing entrance, rendering it no longer usable by Property Owner. This was completed as part of sidewalk infrastructure work.
2. Proposed parking pad, with in/egress still from Willow St just at rear of property is 20' by 20' would eventually be covered by a carport, with an entrance of 20' by 20' of permeable pavers. City made a new entrance, rendering this the only usable entrance for parking by the Property Owner. This was completed as part of sidewalk infrastructure work.
3. Net effect of requested changes incorporates the same amount of concrete currently present at our property.

In an ideal world, we would be able to do the carport at the same time as the proposed plan. However, we do not currently have the financial resources to achieve this.

Thank You,













REVISIONS		INIT.	DATE
NO.	DATE		
1	10/11/2014		

DRIVEWAY

20'

PERMEABLE
STONE PAVERS

FENCE

TRASH

20'

CONCRETE

20'

TRASH

